

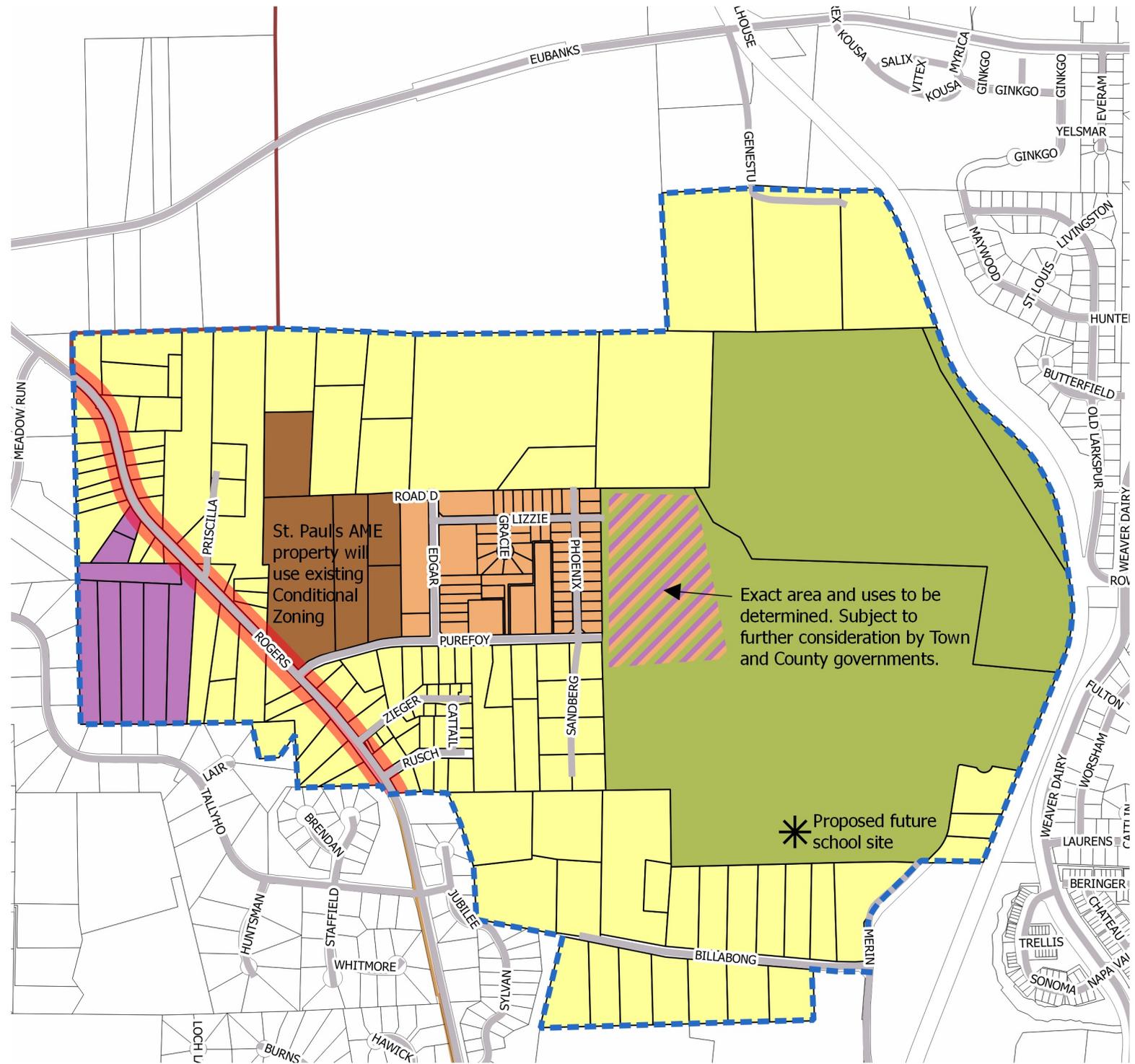
### Legend

 Historic Rogers Road District Boundary

### Character Areas

-  Conservation
-  Residential - Low Density
-  Residential - Medium Density
-  Mixed Use
-  Mixed Use - St Paul's AME
-  Rogers Road Corridor Preservation
-  Future Greene Tract Development

 1:10,000





# Rogers Road Neighborhood | Community Meeting

## Zoning for a Strong and Connected Neighborhood

### Thursday, January 24, 2019

#### Historic Rogers Road Overlay | Zoning Strategy Outline: Questions & Discussion

**QUESTION 1:** Will the Residential – Rogers Road Corridor Preservation (HR-P) designation help protect neighborhood character? Should anything else be restricted here – home occupations, duplexes, triplexes? **Email answers to [Mroupe@townofcarrboro.org](mailto:Mroupe@townofcarrboro.org)**

**QUESTION 2:** Should duplexes be allowed in the Residential – Low Density (HR-L) area? What about triplexes? **Email answers to [Mroupe@townofcarrboro.org](mailto:Mroupe@townofcarrboro.org)**

**QUESTION 3:** Is five units per acre (maximum) the “right” density for Residential – Medium Density (HR-M)? **Email answers to [Mroupe@townofcarrboro.org](mailto:Mroupe@townofcarrboro.org)**



**QUESTION 4:** Where should Residential – Medium Density (HR-M) areas be established? Near existing resources like the community center? Near future roads? Near mixed-use areas that will also have additional density? **Email answers to [Mroupe@townofcarrboro.org](mailto:Mroupe@townofcarrboro.org)**

**QUESTION 5:** Should there be a maximum or minimum density in Mixed Use (HR-X) areas? Email answers to [Mroupe@townofcarrboro.org](mailto:Mroupe@townofcarrboro.org)

**QUESTION 6:** Where do we want mixed use zoning? Where should we make it an option? Email answers to [Mroupe@townofcarrboro.org](mailto:Mroupe@townofcarrboro.org)



**QUESTION 7:** Should mixed use areas be better connected (visually and physically)?  
(Tradeoff would be a different character along that portion of Rogers Road)

**QUESTION 8:** We have heard from the community that paved pathways, public gathering areas, and indoor recreation spaces are important. What other types of recreation are desirable in new developments? Water features? Ball fields/courts? Playgrounds?

**Email answers to [Mroupe@townofcarrboro.org](mailto:Mroupe@townofcarrboro.org)**

**QUESTION 9:** Is the current definition of home occupation acceptable to use as the new "minor" definition?

**Email answers to [Mroupe@townofcarrboro.org](mailto:Mroupe@townofcarrboro.org)**



**QUESTION 10:** What should the new “major” home occupation allow – More floor area? More employees? Noise at certain days/times? What about fumes, dust, and glare outside a building – are these acceptable at any time?

Email answers to [Mroupe@townofcarrboro.org](mailto:Mroupe@townofcarrboro.org)

**QUESTION 11:** Where should the new major home occupations be allowed?

Email answers to [Mroupe@townofcarrboro.org](mailto:Mroupe@townofcarrboro.org)

**QUESTION 12:** Should there be a limit on the number of vehicles that may park at a home for a minor or major home occupation? (Chapel Hill currently allows up to 3 vehicles; Carrboro does not regulate)

Email answers to [Mroupe@townofcarrboro.org](mailto:Mroupe@townofcarrboro.org)



**QUESTION 13:** Should adding a minor addition be exempt from new standards? **Email answers to [Mroupe@townofcarrboro.org](mailto:Mroupe@townofcarrboro.org)**

**QUESTION 14:** Should there be exemptions from the regulations? If so, which ones? **Email answers to [Mroupe@townofcarrboro.org](mailto:Mroupe@townofcarrboro.org)**

**QUESTION 15:** Should the overlay allow modifications? Why would we want to allow (or not allow) a modification? What if there is a stream or wetlands across the property (see image at right)? A very steep slope on one part of the property? Evidence of an endangered species habitat on the property? Others? **Email answers to [Mroupe@townofcarrboro.org](mailto:Mroupe@townofcarrboro.org)**



**QUESTION 16:** Should the rule allow for more flexibility than a 10% reduction in lot size? (Benefit: easier for land to be developed, which may result in more affordable homes and development generally; Drawback: creates less predictability in the standards – not all lots will develop the same way; may result in more development - may also be a down side for some.)

Email answers to [Mroupe@townofcarrboro.org](mailto:Mroupe@townofcarrboro.org)

**QUESTION 17:** Should property owners of lands currently “in” the overlay be able to ask to be removed from the overlay district? Email answers to [Mroupe@townofcarrboro.org](mailto:Mroupe@townofcarrboro.org)

**QUESTION 18:** Should property owners of nearby lands that are not currently “in” be allowed to ask to be rezoned to be “in” the district? Email answers to

[Mroupe@townofcarrboro.org](mailto:Mroupe@townofcarrboro.org)



**QUESTION 19:** What should the criteria be for staff and elected officials who are considering a request to be rezoned in or out of the district? Email answers to

[Mroupe@townofcarrboro.org](mailto:Mroupe@townofcarrboro.org)

**QUESTION 20:** Should property owners be allowed to request a change of character area?

Email answers to [Mroupe@townofcarrboro.org](mailto:Mroupe@townofcarrboro.org)

**QUESTION 21:** When should a change of character areas be allowed? In other words, what would make a change of sub-districts appropriate? Location? Size?

Email answers to [Mroupe@townofcarrboro.org](mailto:Mroupe@townofcarrboro.org)



**Other questions/comments:**

## HISTORIC ROGERS ROAD ZONING OVERLAY: GLOSSARY

**Age in place:** Aging in place means being able to live in the home of your choice for as long as you are able, while being able to get any assistance you require as your needs change

**Infrastructure:** Infrastructure refers to the fundamental facilities and systems serving a country, city, or other area, including the services and facilities necessary for its economy to function.

**Exemptions or exceptions (to zoning):** relief from zoning regulations due to defined circumstances (usually environmental or due to the shape/size of property).

**Assisted living facility:** a housing facility for people with disabilities or for adults who cannot or choose not to live independently

**Base zoning district:** A zoning ordinance consists of two parts: a map (or series of maps) and text. The zoning map shows how the community is divided into different use districts or zones. Zoning districts common to most ordinances include residential, commercial, industrial, and agricultural. The base zoning district is the district that would apply to the property in the absence of, or in addition to, the overlay zone.

**Bike lane:** located adjacent to motor vehicle travel lanes and flows in the same direction as motor vehicle traffic; designated by striping, signage, and pavement markings

**Buffer:** the boundary between different land uses (such as residential and mixed use) can be a point of tension if the uses are incompatible; a buffer may help remediate this tension; buffers can be distance-based (ex. mixed use development must be 100 feet from any residential development) or physical (ex. mixed use development must be screened from residential areas by using landscaping)

**Cluster zoning:** density is determined for an entire specified area, rather than on a lot-by-lot basis; within the cluster zone, a developer can exercise greater flexibility in designing and placing structures, as long as the total density requirement is met; may be used for properties with environmental constraints or to preserve open space

**Cohousing:** an *intentional* community of private homes clustered around shared space; each attached or single family home has traditional amenities, including a private kitchen; shared spaces typically feature a common house, which may include a large kitchen and dining area, laundry, and recreational spaces

**Compliance:** meeting the standards in the zoning ordinance; may be required for non-conforming uses or structures under certain circumstances

**Connectivity index or maximum block size:** connectivity describes how easily (whether measured in time or distance) a traveler can access destinations; some zoning tools can promote connectivity by regulating the distance between cross streets or limiting the number of dead-end streets, cul-des-sac, and road stubs.

**Conservation district:** used to preserve natural resources that could be affected by development.

**Cottage court:** a cluster of several self-contained homes (usually 4-8) on one property; homes usually face an inner common courtyard (see image)



*Figure 1 Cottage court*

**Density:** measures the “intensity” of a land use; often reported as units (houses) per acre; can be regulated as a maximum (cannot exceed), a minimum (cannot go below), or an average. Ex. in a low-density residential area, the maximum density might be three dwelling units (houses) per acre of land.

**Development standards:** regulations making sure new development, or redevelopment, in the neighborhood provides the kinds of quality and amenities that the community wants to see; may include open space for recreation, screening of new mixed-use areas for privacy, allowing signs for home-based businesses, and requiring new streets and sidewalks that handle new traffic created by development.

**Dimensional requirements:** generally regulated by zoning ordinance and will likely differ between zoning districts or sub-districts; typically address things like lot size (minimum or maximum), building height, setbacks, and other measurement-based standards

**Duplex:** a dwelling having apartments with separate entrances for two households; includes two-story houses having a complete apartment on each floor and side-by-side apartments on a single lot that share a common wall

**Flex space:** A building providing use-flexibility for office and light industrial uses, such as printing, design, light assembly of products, artist space, or storage/warehousing; could also host a coworking center (where many individual small business owners or freelancers work alongside one another in common space), or a business incubator (where individuals working to launch new businesses can rent affordable space in which to perform office work and access shared resources such as printers, scanners, and other tools and services such as financial counseling and management training). Example: A 15,000 square foot building with interior spaces that can be rearranged and rented to various businesses or individuals. One example combination is a t-shirt and sign printing company that also needs some storage space, renting 5,000 square feet; three individual artists renting 1,000 square feet apiece; a woodworking company making custom furniture renting 3,000 square feet; and the remaining 4,000 square feet set used for coworking space and common space, like a break room, copy room, and conference or meeting spaces

**Fourplex:** a small residential building with 4 apartments; buildings usually look more like a large house than an apartment building

**Future Land Use Map (FLUM):** the FLUM is a compass for the Town's future growth; it's a management a tool to implement community vision; indicates areas to be developed or preserved; and designates broad land use types (residential, commercial, industrial, recreational etc.)

**Home occupation:** an occupation conducted as an accessory (extra) use in or from a residential dwelling or its accessory building by persons whose principal residence is on the premises; can be further defined (ex. major occupation or minor occupation); typically does not include any retail or wholesale sales on the premises (other than over the phone and through the mail) or industrial use (other than custom crafts and sewing)

**Historic Rogers Road Neighborhood Overlay:** a new zoning framework for the Rogers Road community reflecting the interests of the community and implementing the recommendations of *Rogers Road: Mapping Our Community's Future*. The overlay will encourage a type and pattern of development that fits into the surrounding context and provides new opportunities for the community such as jobs, services and housing.

**Intensity:** an alternative or supplement to density standards; can be regulated through maximum lot coverage, use, height, or other dimensional standards

**Land Use Management Ordinance (LUMO):** Every city has a set of development regulations that serve as the rulebook for things like where a building can be located on a property, how tall it can be, or even how close the structure can sit to the nearest road. This same set of rules also govern the design of streets, the streetscape, parking lots, site lighting, signage, stormwater and landscaping. In Chapel Hill, the current set of development regulations is called the Land Use Management Ordinance or "LUMO" for short.

**Live/work units:** A structure or portion of a structure combining a dwelling unit with an integrated nonresidential work space typically used by one or more of the residents. The nonresidential work space is typically found on the building's ground floor. Example: Someone has a sculpture studio on the first floor of the building, where they create their work, occasionally see clients, and (maybe) sell their products to customers during business hours. They live in a second-story apartment above the studio.

**Lot coverage/floor area ratio (FAR)/impervious surface:** all ways to regulate the amount of occupied space on a lot (buildings and driveways) as compared to the total area of a lot; for example, if there is a lot coverage maximum of 50%, no more than half of the total lot can be covered by occupied space; FAR is generally used more often for multi-story buildings

**Mapping Our Community's Future:** The Rogers Road- Eubanks Neighborhood Association (RENA) partnered with the Jackson Center on an intensive 9-month, community-first planning effort for the future of the Rogers Road community. The result was a compilation released in May 2016, *Rogers Road: Mapping Our Community's Future*. This document recommends that development should retain long-term residents, create connections with the larger community, preserve socioeconomic and cultural diversity for the future, and respect the physical/natural character of the neighborhood. Zoning changes to the Rogers Road Neighborhood are rooted in the vision created through this plan.

**Maximum home size:** may be regulated by the zoning ordinance; describes the largest size allowed for a home; typically used to avoid situations where smaller (often more affordable) homes are replaced with much larger and less-affordable homes

**Minimum lot size:** may be regulated by zoning ordinance; describes the smallest size allowed for a building lot; will likely differ between zoning districts or sub-districts

**Mixed use zoning:** allows for the horizontal and vertical combination of land uses in a given area (ex. residential and commercial allowed in the same zoning district or in the same building)

**Multifamily dwelling:** housing where multiple separate housing units for residential inhabitants are contained within one building or several buildings within one complex; may be an apartment building

**Multiuse or shared use path:** a form of infrastructure that supports multiple recreation and transportation opportunities, such as walking, bicycling, inline skating and people in wheelchairs, motorcycles and mopeds are normally prohibited; typically has a surface that is asphalt, concrete or firmly packed crushed aggregate; physically separated from motor vehicular traffic with an open space or barrier; differ from exclusive bikeways in that shared-use paths are designed to include pedestrians even if the primary anticipated users are cyclists.

**Non-conforming/ non-conformities:** A nonconforming use is a use of property that was allowed under the zoning regulations at the time the use was established but which, because of subsequent changes in those regulations, is no longer a permitted use. Nonconforming uses and structures are not illegal uses and structures; they are generally allowed to continue as is, subject to local restrictions.

**Open space:** any open piece of land that is undeveloped (has no buildings or other built structures) and is accessible to the public; may include green space (land that is partly or completely covered with grass, trees, shrubs, or other vegetation such as parks, community gardens, and cemeteries), schoolyards, playgrounds, public seating areas, public plazas, and vacant lots.

**Overlay District:** Overlay zoning is a regulatory tool that creates a special zoning district, placed over an existing base zone(s), which identifies special provisions in addition to those in the underlying base zone. (see image). The overlay district can share common boundaries with the base zone or cut across base zone boundaries. Regulations or incentives are attached to the overlay district to protect a specific resource or guide development within a special area.

**Overlay district boundary:** The area(s) subject to the regulations contained in the overlay ordinance; shown on a map.

**Overlay sub-districts:** Areas within the overlay district boundaries that have varying standards in order to achieve desired character or development patterns.

**Payments-in-Lieu:** an arrangement where a developer may be able to provide an agreed-upon one-time payment to the municipality instead of building

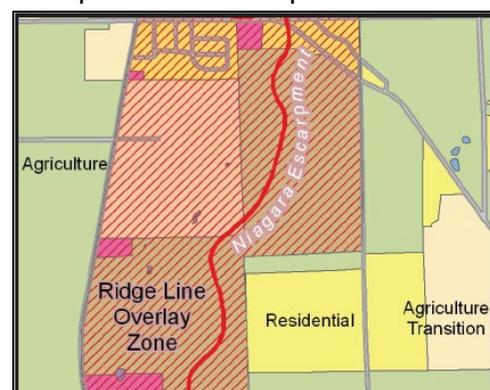


Figure 2 Overlay Zoning Example

infrastructure, installing stormwater management features, or other amenities

**Permitted uses:** or “by-right,” using property in manners consistent with that which is listed as permissible in the zoning district in which his or her property is located; a ‘use by right’ is a use permitted in a zoning district and is therefore not subject to special review and approval by a local government.

**Rezoning:** the action or process of assigning land or property to a different category of restrictions on use and development.

**Screening:** any landscaping or structure such as walls, landscaped berms, and hedges, used to conceal or reduce the negative visual and audio impacts of certain land uses or activities from streets or adjacent development

**Setback:** a distance from a street, curb, property line, or structure within which building is restricted or prohibited (see figure); can be a minimum setback (ex. the front of a structure must be at least 25 feet from the curb) or a maximum setback (ex. the front of a structure may not be further than 15 feet away from the sidewalk).

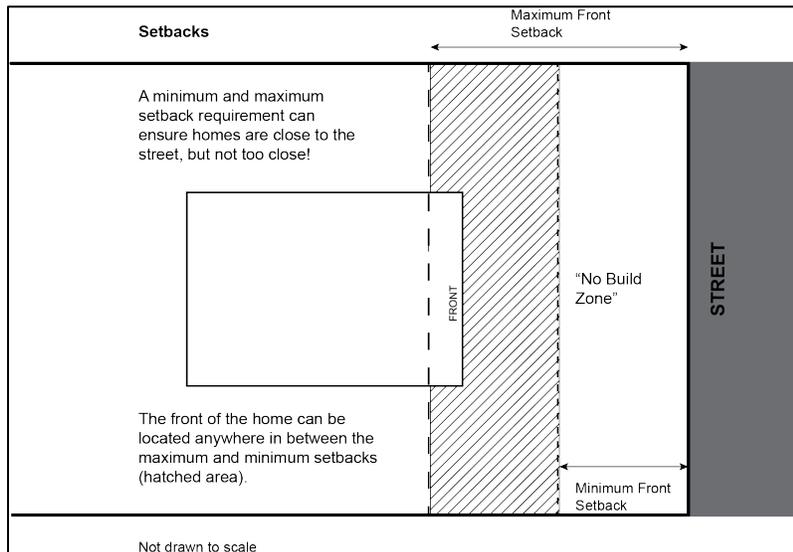


Figure 3 Illustration of minimum and maximum setbacks

**Site constraints:** challenging factors affecting a site or property (often environmental such as steep slopes, wetlands, waterbodies, and more) (see figure); may be cause for a variance

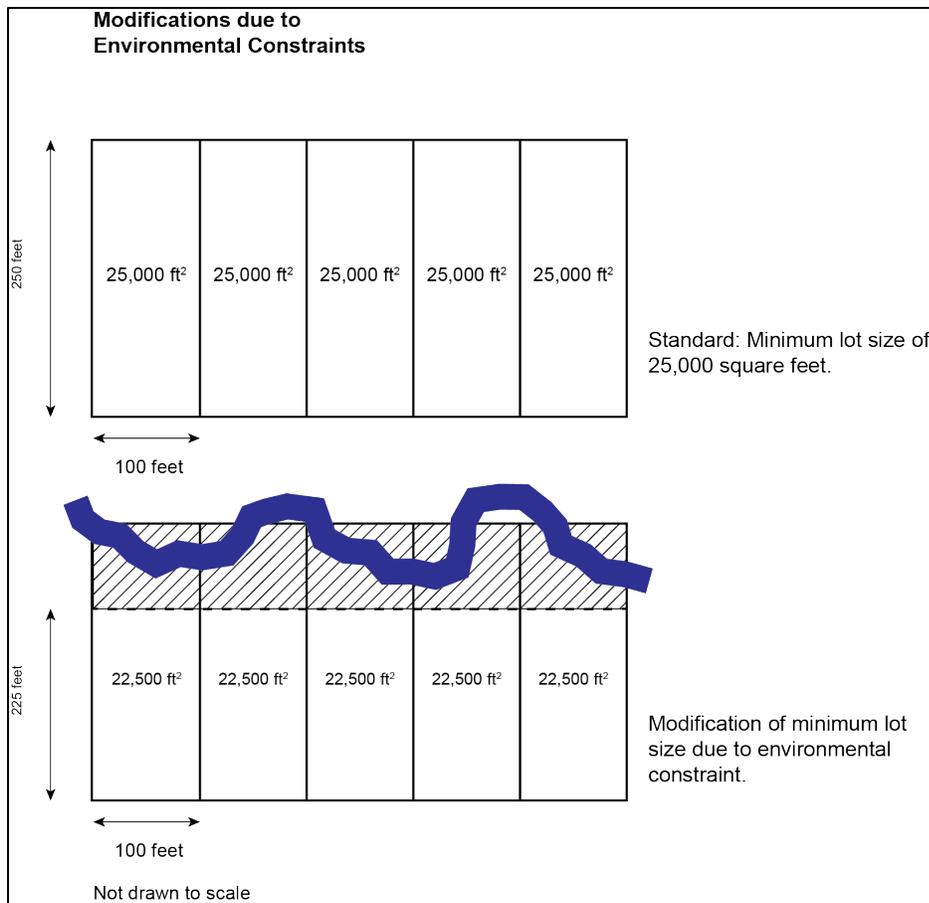


Figure 4 Illustration of site constraints triggering an exemption to regulations

**Stormwater/ stormwater standards:** in developed areas, impervious surfaces such as pavement and roofs prevent precipitation from naturally soaking into the ground and stormwater must be directed into storm drains, sewer systems and drainage ditches; when development occurs, the new buildings and parking lots and other impervious features that are constructed may change the stormwater runoff characteristics of the site; stormwater standards set up a process and standards to include appropriate features in the design to deal with new stormwater runoff

**Stormwater management features/ best management practices (BMPs):** structural, vegetative or managerial practices used to treat, prevent or reduce water pollution resulting from stormwater runoff; includes dry detention basins, retention basins, sand filters, constructed wetlands, and vegetated swales.

**Traffic impact assessment (TIA):** determines the traffic impact of a land development proposal and whether such development can be accommodated by the transportation system; may be required by a jurisdiction's development management ordinance

**Triplex:** a building divided into three self-contained residences (side by side or multistory configurations)

**Variance:** when a particular property is unfairly burdened by general rules, creating an “unnecessary hardship” for the owner. North Carolina general statutes authorize the local board of adjustment to grant a variance (or exception) from the rules in those limited circumstances.

**Zoning ordinance:** A zoning ordinance is a written regulation and law that defines how property and buildings in specific geographic zones can be used. Zoning ordinances typically specify use (residential, commercial, mixed, etc.), and may also regulate lot size, building placement, density, height of structures, and more.